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Alex Johnson, Ph.D.  
Laura Bloomberg, Ph.D.

To: All Service Providers  
From: M. Angela Foraker, Executive Director  
Strategy, Sourcing, & Support

Date: November 14, 2022

**Re: Addendum #2 for ITB 21368 – MetroHealth Clinic Upgrades at Clara Westropp, Mound, and Glenville**

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This Addendum shall hereby be and become a part of the Contract Documents the same as if originally bound thereto.

Each proposer shall acknowledge receipt of the Addendum in your proposal response. **Failing to acknowledge this Addendum on the Addendum Acknowledgement Form may cause the response to be rejected.**

This Addendum #1 reflects the following:

- Bid Due Date Extension
- Responses to Questions from Site Visit
- Revised Drawings

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**Extending ITB Due Date:**

**ORIGINAL** ITB due date: November **16**, 2022 at 1:00 PM (EST)

**REVISED** ITB due date: November **21**, 2022 at 1:00 PM (EST)

**REMINDER:** Mailing of ITB responses are encouraged. However, hand deliveries will only be accepted from: **12:00 PM to 1:00 PM** on November 21, 2022.

# MEMORANDUM



**To:** Hollie Dellisanti  
EDUCATOR: Executive Director of Architectural Services, Capital Projects  
Cleveland Metropolitan School District

**From:** W. Daniel Bickerstaff, II AIA, NOMA, NCARB  
Ubiquitous Design, LTD Architects

**Date:** 14 November 2022

**Re:** PRE-BID QUESTION AND SITE VISIT RESPONSES: MetroHealth New Health Care  
Expansion Program

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## Contractor 10 November 2022 Questions:

- 1.0 Upon completion of masonry demolition, CMU shall be toothed and finished with metal studs and gypsum board.
- 2.0 Intertek PSI has performed asbestos abatement services. Their report should have been issued to the contractor by CMSD.
- 3.0 Existing mechanical heater on outside of masonry wall to be removed shall be relocated. Architect and Owner to determine the new location (preferably, on the north wall of the Stair Hall & Stair "B").
- 4.0 Parking lot space shall be provided for construction dumpster.

## Contractor 9 November 2022 Site Visit Questions:

### GLENVILLE

- 1.0 Upon select demolition pursuant to ACM remediation under separate contract, existing metal stud non-load bearing partitions are to be completely removed and replaced that will separate the two of the three future Exam Rooms and the new Unisex Toilet Room 110 from the New Staff Room 111. There will be a substantial savings for the District due to the reduction in furred walls.
- 2.0 Existing/Remaining corkboards may have ACM mastic as adhesive "hot spots". PSI to confirm and CMSD to remediate as required. CMSD to provide complete ACM report/survey to contractors. Also, ACM material appears to remain at perimeter of rooms potentially requiring existing concrete to be ground in prep for new finishes.

### MOUND

- 1.0 Scope of work DOES NOT include the adjacent toilet room. Fixtures are to remain.
- 2.0 Per the architectural permit plans, the entire existing ACT ceiling AND grid to be removed and replaced.

Page 1.0

**UBIQUITOUS DESIGN, LTD**

3443 LEE ROAD SHAKER HEIGHTS, OHIO 44120 216.752.4444 P 216.752.5011 F ARCATEK@UDLTD.COM

# MEMORANDUM



Contractor 9 November 2022 Site Visit Questions (con.):

## WESTROPP

- 1.0 Also, ACM material appears to remain at perimeter of rooms potentially requiring existing concrete to be ground in prep for new finishes.
- 2.0 All ceilings are to be new ACT and grid.
- 3.0 Entire locker base to be removed and floor leveled with existing in preparation for new flooring. See Detail D1 on Sheet A1.0.



Glenville probable ACM on conc.



Westropp probable ACM on conc.

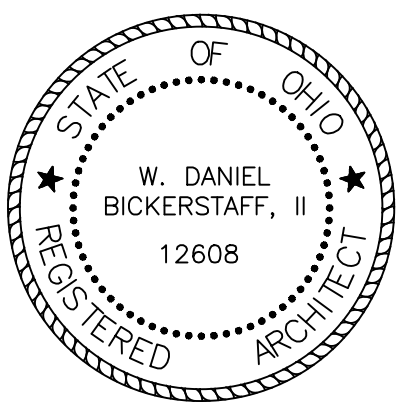
Project Team:

Architect



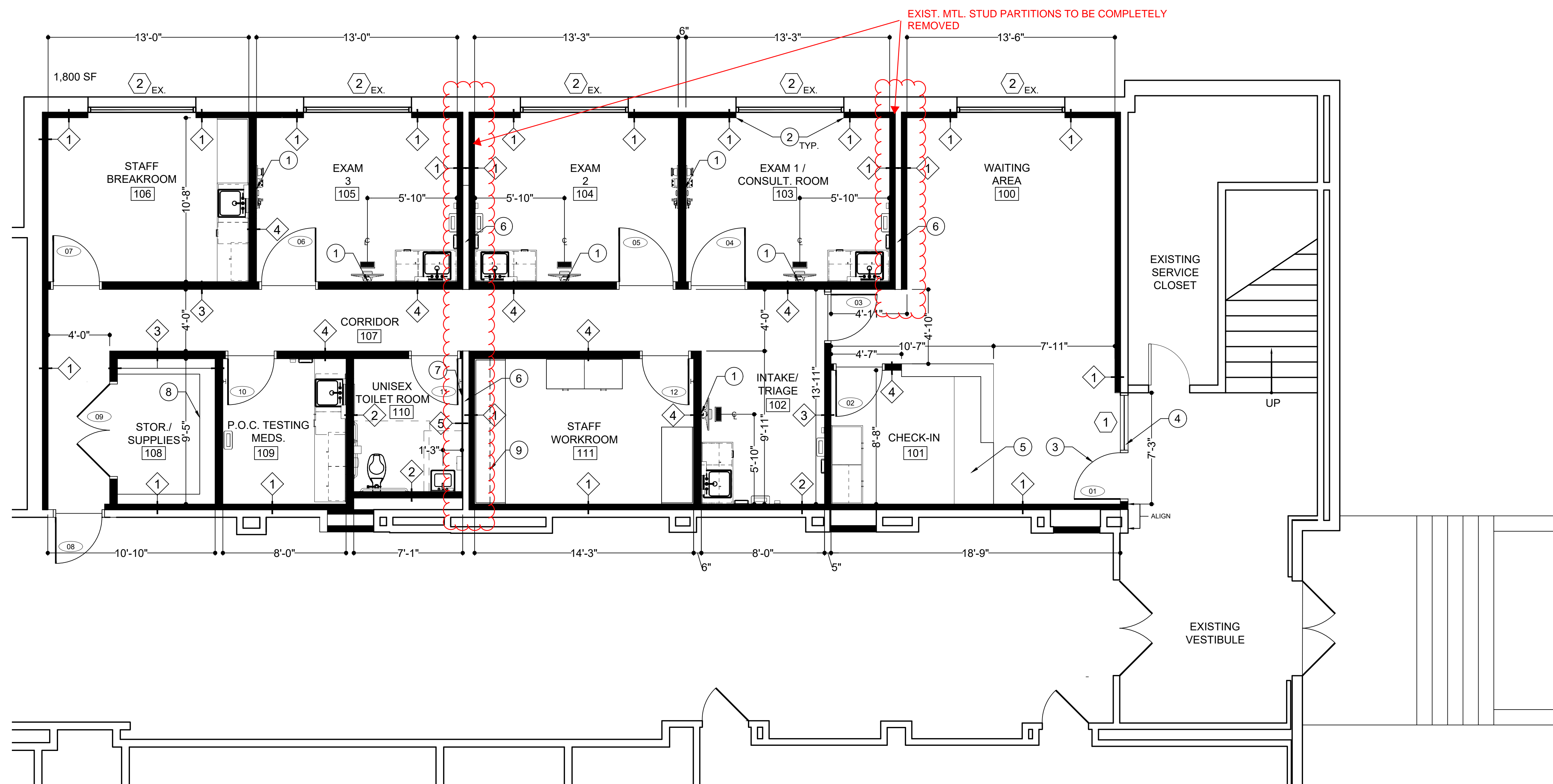
**UBIQUITOUS DESIGN, LTD.**  
ARCHITECTS

3443 LEE ROAD  
SHAKER HEIGHTS, OHIO 44120  
P: 216.725.4444 F: 216.725.5011 ARCH@UBIQUITOUS.COM



*W. Daniel Bickerstaff, II*

W. Daniel Bickerstaff, II License No. 12608  
Expiration Date: December 31, 2023



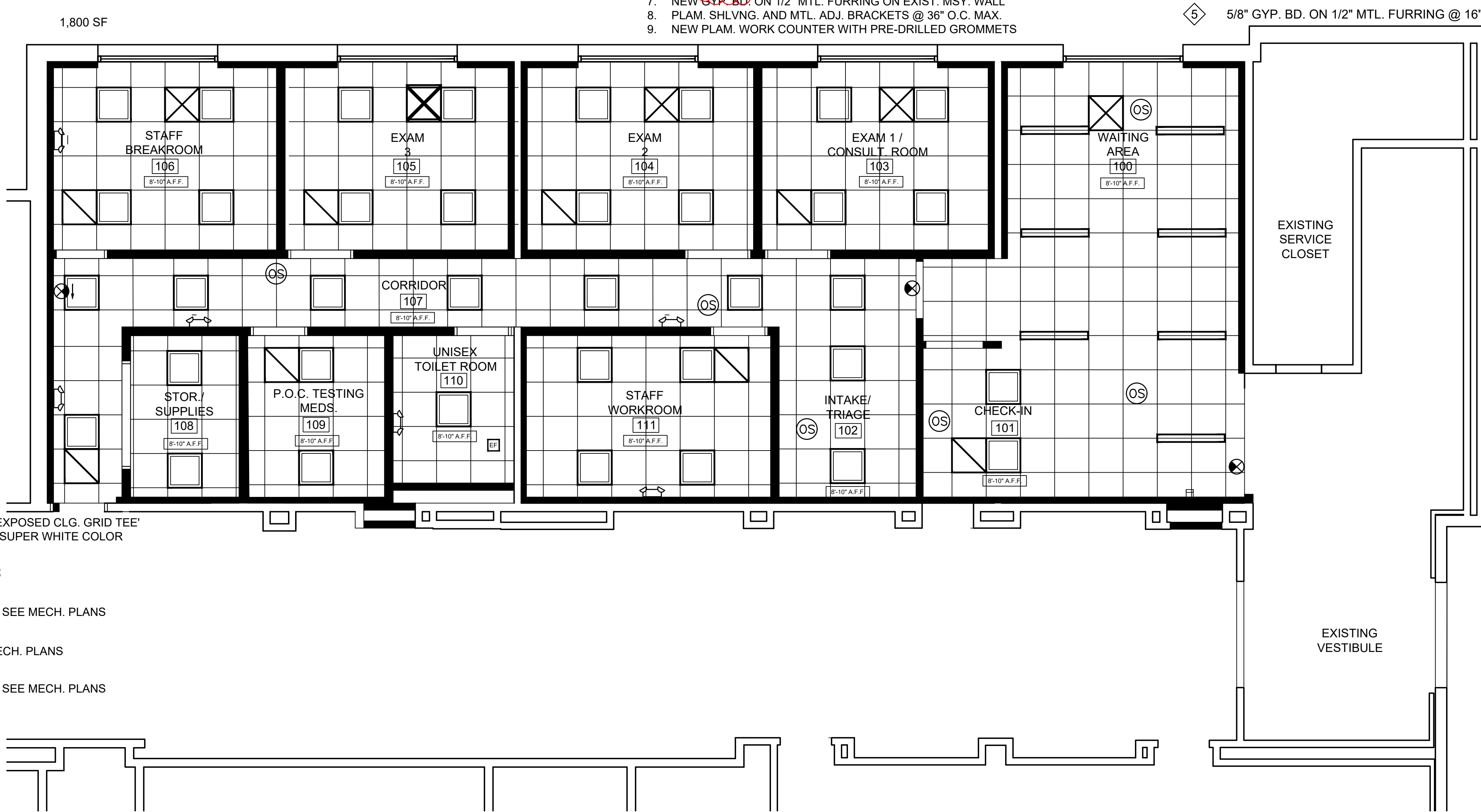
**1**  
**A2.0**  
SCALE: 1/4" = 1'-0"

**PLAN KEYED NOTES:**

- INDICATED BY ○
- PROVIDE BLOCKING FOR WALL MNTD. EQUIP. REFER TO INTERIOR ELEVATIONS ON SHEET AX.0
  - NEW WALL LOCATIONS SHOULD NOT CONFLICT WITH EXIST. WINDOW FRAME. VERIFY IN FIELD.
  - NEW CARD READER, MAG-LOCKS, DOOR RELEASE BUTTON, AND REX MOTION SENSORS FOR NEW DOORS. HARDWARD PROVIDED BY OWNER'S SECURITY CONTRACTOR.
  - NEW STOREFRONT GLAZING SYS.; TEMP. GLASS TO 18" AFF
  - NEW MTL. WORK RECEPTION DESK
  - EXIST. MSY. WALL TO REMAIN
  - NEW GYP. BD. ON 1/2" MTL. FURRING ON EXIST. MSY. WALL
  - PLAM. SHLVNG. AND MTL. ADJ. BRACKETS @ 36" O.C. MAX.
  - NEW PLAM. WORK COUNTER WITH PRE-DRILLED GROMMETS

**WALL TYPES**

- 5/8" GYP. BD. ON EA. SIDE OF 3-5/8" MTL. STUDS @ 16" O.C. W/ 3" SOUND INSUL.
- 5/8" M.R. GYP. BD. ON WET. SIDE AND TYP. 5/8" GYP. BD. ON OPP. SIDE OF 3-5/8" MTL. STUDS @ 16" O.C. W/ 3" SOUND INSUL.
- 5/8" GYP. BD. ON WET SIDE OF EXIST. MTL. STUDS @ 16" O.C. ADD 3" SOUND INSUL.
- 5/8" GYP. BD. ON ONE SIDE OF 3-5/8" MTL. STUDS @ 16" O.C.
- 5/8" GYP. BD. ON 1/2" MTL. FURRING @ 16" O.C.



**2**  
**A2.0**  
SCALE: 1/4" = 1'-0"

**LEGEND**

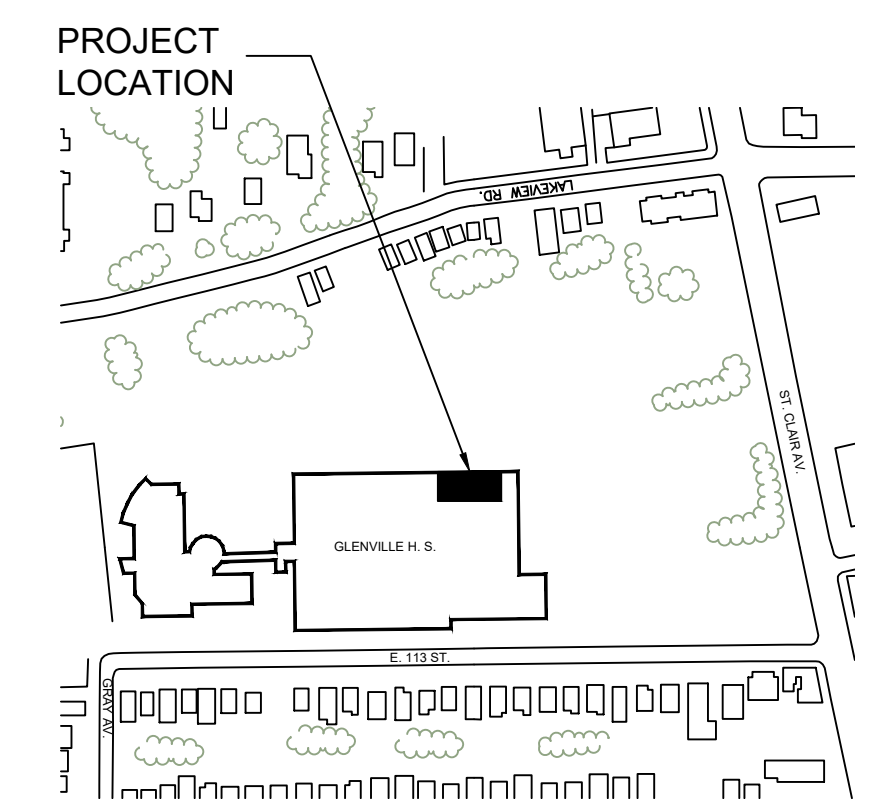
- NEW 2'x2' 15/16" WIDE EXPOSED CLG. GRID TEE FLUSH GRID SYSTEM. SUPER WHITE COLOR
- NEW 2'x2' LED LIGHT FIXTURE; SEE ELEC. PLANS
- NEW RETURN AIR REGISTER. SEE MECH. PLANS
- NEW SUPPLY GRILLE. SEE MECH. PLANS
- NEW RETURN AIR REGISTER. SEE MECH. PLANS
- EXHAUST FAN
- NEW SMOKE DETECTOR
- NEW EXIT LIGHT, SEE ELEC. PLANS
- NEW EMERGENCY LIGHT, SEE ELEC. PLANS
- NEW SMOKE DETECTOR
- INDICATES CEILING HEIGHT

**GENERAL NOTES:**

- ALL WORK, ITEMS AND MATERIALS ARE **NEW** UNLESS PRECEDED BY THE WORD "EXISTING".
- PATCHING- ALL EXISTING SURFACES DISTURBED BY RENOVATIONS. WALLS SHALL BE PATCHED TO MATCH EXIST. THEN APPLY NEW FINISHES.
- SOUND- ALL PARTITIONS SHALL INCLUDE SOUND ATTENUATION BATTS AND EXTEND TO UNDERSIDE OF STRUCTURE.
- FURNISHINGS- BY OWNER.
- EQUIP- PER PLAN.
- COMPUTERS- PER PLAN.
- TELEPHONES/DATA- PER OWNER
- CEILINGS- NEW THROUGHOUT; PATCH, SEAL, CLOSE AND RELOCATE ITEMS AS REQUIRED.
- WALLS- PAINT.
- FLOORS- NEW.
- POWER- AS REQUIRED BY PLAN.
- THE METHOD OF ATTACHMENT FOR ALL ITEMS THAT ARE TO BE SUSPENDED ARE TO BE SUSPENDED FROM THE FLR. STRUCT. ABOVE.
- REFERENCE FINISH FLOOR AT 0'-0".
- REFER TO AX.X FOR PARTITION TYPES.
- REFER TO AX.X FOR DOOR SCHEDULE.
- THESE DRAWINGS HAVE BEEN COORDINATED WITH EXISTING CONDITIONS AS THEY ARE BELIEVED TO EXIST. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT/OWNER IN A TIMELY MANNER REGARDING ANY AND ALL DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL CONDITIONS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL WORK.
- UPON COMPLETE REMOVAL OF EXIST. FLRNG. ARCHITECT AND OWNER TO PERFORM DETAIL REVIEW AND INSPECTION OF EXIST. SUBFLOOR
- NEW WALLS SHALL BE INSTALLED WITH THE INTENT OF PROVIDING ACCESS TO ALL EXIST. OUTLETS AND DEVICES IDENTIFIED AS EXIST. TO REMAIN.
- REFER TO INTERIOR DRAWINGS FOR CASEWORK INFORMATION AND DIMENSIONS

**TYPICAL NOTES**

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES, FIRE SAFETY CODES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THE OHIO BUILDING CODE (OBC) AND THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG). ANY CONFLICTS BETWEEN THE WORK INDICATED WITHIN THESE DOCUMENTS AND SAID CODES OR REGULATIONS NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- MAKE ARRANGEMENTS 72 HOURS MINIMUM IN ADVANCE WITH THE OWNER FOR ANY INTERRUPTIONS OF UTILITY SERVICE.
- EACH CONTRACTOR AND VENDOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS AND CLEARANCES PRIOR TO SUBMITTING A PROPOSAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND INSPECTIONS AS REQUIRED.
- SHOULD ANY OF THE DETAILED INSTRUCTIONS ON THE DRAWINGS CONFLICT WITH THE NOTES OR SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL APPLY. ANY SUCH CONFLICT SHALL BE REPORTED TO THE ARCHITECT.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR SITUATIONS THROUGHOUT THE STRUCTURE UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL RELEVANT DIMENSIONS, ELEVATIONS ANGLES AND EXISTING CONDITIONS BEFORE PROCEEDING WITH THE AFFECTED WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL LOOSE DEBRIS/TRASH SHALL BE DEPOSITED IN A COVERED TRASH RECEPTACLE OR REMOVED FROM THE SITE. NO LOOSE DEBRIS/TRASH SHALL BE LEFT ON ROOFS, SPACES OPEN TO AIRPORT OPERATIONS AREA (AOA), NEAR CONVEYANCE SYSTEMS, OR IN ANY OPEN TRASH CONTAINERS.
- ALL CONTRACTORS AND SUBCONTRACTORS FOR THE WORK OF THIS CONTRACT SHALL BE PROPERLY LICENSED AND REGISTERED IN ACCORDANCE WITH THE REGULATIONS OF CLEVELAND, OHIO.
- AT ALL TIMES WHEN WORK IS IN PROGRESS, A REPRESENTATIVE OF THE CONTRACTOR OR SUB-CONTRACTOR SHALL BE ON SITE AND AUTHORIZED TO ANSWER QUESTIONS OR RECEIVE INSTRUCTIONS FROM THE OWNER OR ARCHITECT.
- ALL UNUSED/ABANDONED FLOOR/WALL OPENINGS SHALL BE SEALED OR FIRE STOPPED.
- DUE TO HEALTH RELATED REASONS, USE OF CHINESE-MADE GYPSUM WALLBOARD IS NOT PERMITTED TO BE USED ON THE PROJECT.
- ALL "LOUD" WORK (CUTTING, CORING, SAWING, ETC.) WILL BE CONDUCTED AT NIGHT WHEN THE CONCOURSE IS NOT OCCUPIED BY PASSENGERS (AFTER 10PM, BEFORE 5AM)
- PROVIDE LOCKS AT ALL CABINETY DOORS AND DRAWERS



**KEY PLAN**  
SCALE: NTS

PERMIT ISSUANCE	WDB, II	08.26.2022
ISSUED	BY	DATE

**GLENVILLE  
HIGH SCHOOL**

Interior Alteration  
  
New MetroHealth  
ODH  
SBHC  
Health Care Expansion Program

650 East 113th Street  
Cleveland, OH 44108



Checked Approver	X	Date	
Public Outreach EDUCATOR, Exec. Dir.			
Architectural Projects, Capital Programs			
Checked Project #	DB	Checked by	WDB, II
<b>PROPOSED FLOOR AND CEILING PLANS</b>			
Scale		Sheet	A2.0
Date	08.26.2022		

**DEMOLITION GENERAL NOTES:**

- SEE FLOOR PLAN GENERAL NOTES ON SHEET A1.1 FOR DESCRIPTION OF REFERENCE "ORTHO LINE".
- DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
- EXISTING FIRE ALARM OR SPRINKLER MONITORING SYSTEM: MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS ACCEPTED. DISABLE SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. NOTIFY AND OBTAIN PERMISSION FROM LANDLORD AND LOCAL FIRE SERVICE IN ADVANCE IN ACCORDANCE WITH AHJ REQUIREMENTS BEFORE PARTIALLY OR COMPLETELY DISABLING SYSTEM. MINIMIZE OUTAGE DURATION. MAKE TEMPORARY CONNECTIONS TO MAINTAIN SERVICE IN AREA ADJACENT TO WORK AREA.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT TENANT SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
- ALL BUILDING SERVICES REQUIRED TO MAINTAIN BUILDING OPERATION OF OTHER AREAS SHALL BE MAINTAINED. BUILDING SERVICES IN FINISHED SPACES SHALL BE CONCEALED, UNLESS OTHERWISE INDICATED. BUILDING SERVICES ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE REROUTED AND CONCEALED. THOSE BUILDING SERVICES THAT ARE INDICATED TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN THE FLOOR, WALL OR CEILING. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL SERVICES PRIOR TO REMOVAL AND DISCONNECTION INCLUDING ELECTRICAL, HVAC, PLUMBING, SECURITY, AND TELEPHONE/DATA FOR ADJOINING OCCUPIED SPACES.
- ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW FLOOR FINISHES. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.

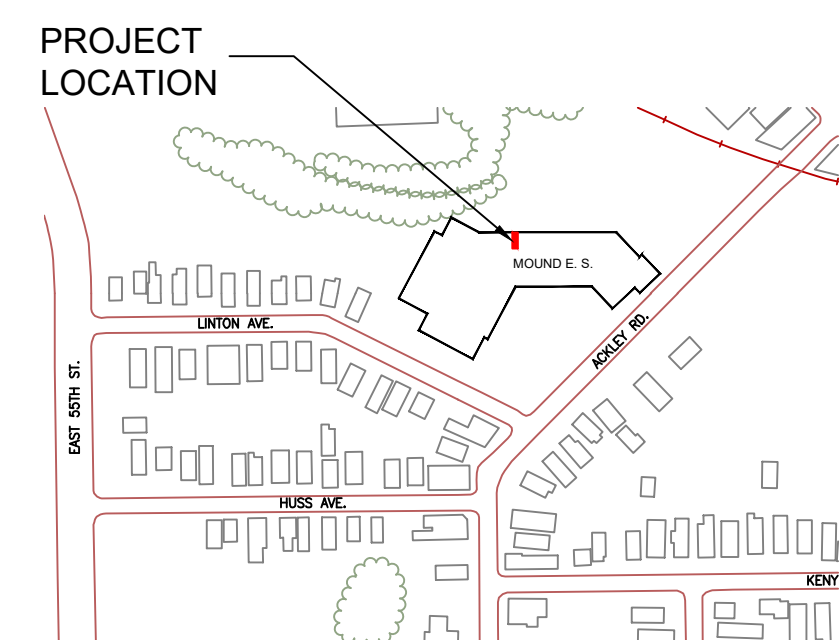
**WALL LEGEND**

- EXIST. WALLS
- WALLS AND MILLWORK TO BE REMOVED

**PLAN CODED NOTES:**

- INDICATED BY
- REMOVE EXIST. PLAM. COUNTER; CONTRACTOR TO SALVAGE
  - REMOVE AND SALVAGE EXIST. BASE AND WALL CABINETS
  - REMOVE EXIST. SINK AND ASSOC. PIPING TO WITHIN WALL IN PREP. FOR NEW PLUMBING FIXTURES
  - EXISTING TALL CABINETS TO BE REMOVED AND SALVAGED; POTENTIAL RE-USE WITHIN SPACE
  - REDUCE AND RELOCATE EXIST. CUBBIES
  - REMOVE
    - FLOORING
    - WALL BASE
    - ACOUST. CLG. TILES ETC.
    - ADHESIVE
    - CHALK/MARKER BOARDS
    - ACCESSORIES (CLOCKS, MIRRORS, FIRE EXTINGUISHERS)
    - AV TECH. EQUIPMENT
  - CMSD SHALL REMOVE ALL FURNISHINGS, DEHUMIDIFIERS, WALL MNTD. POSTERS, AND PAPERS
  - REMOVE EXIST. ELEC. OUTLET/DIODE
  - REMOVE EXIST. LIGHTING FIXTURE

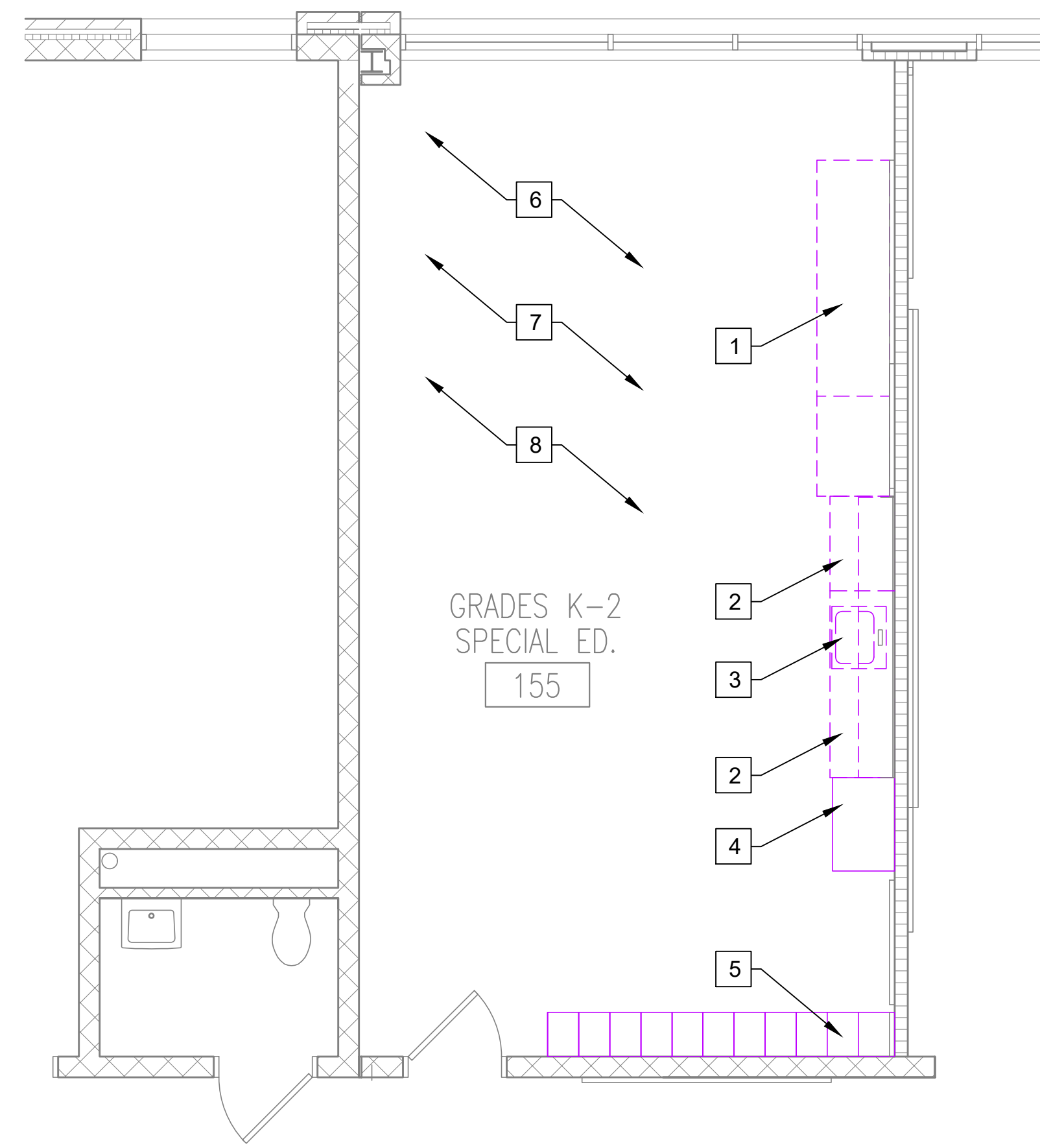
\*SALVAGE ALL ACCESSORIES AND TECH. EQUIP.; CONTRACTOR TO REMOVE AND CMSD SHALL STORE.



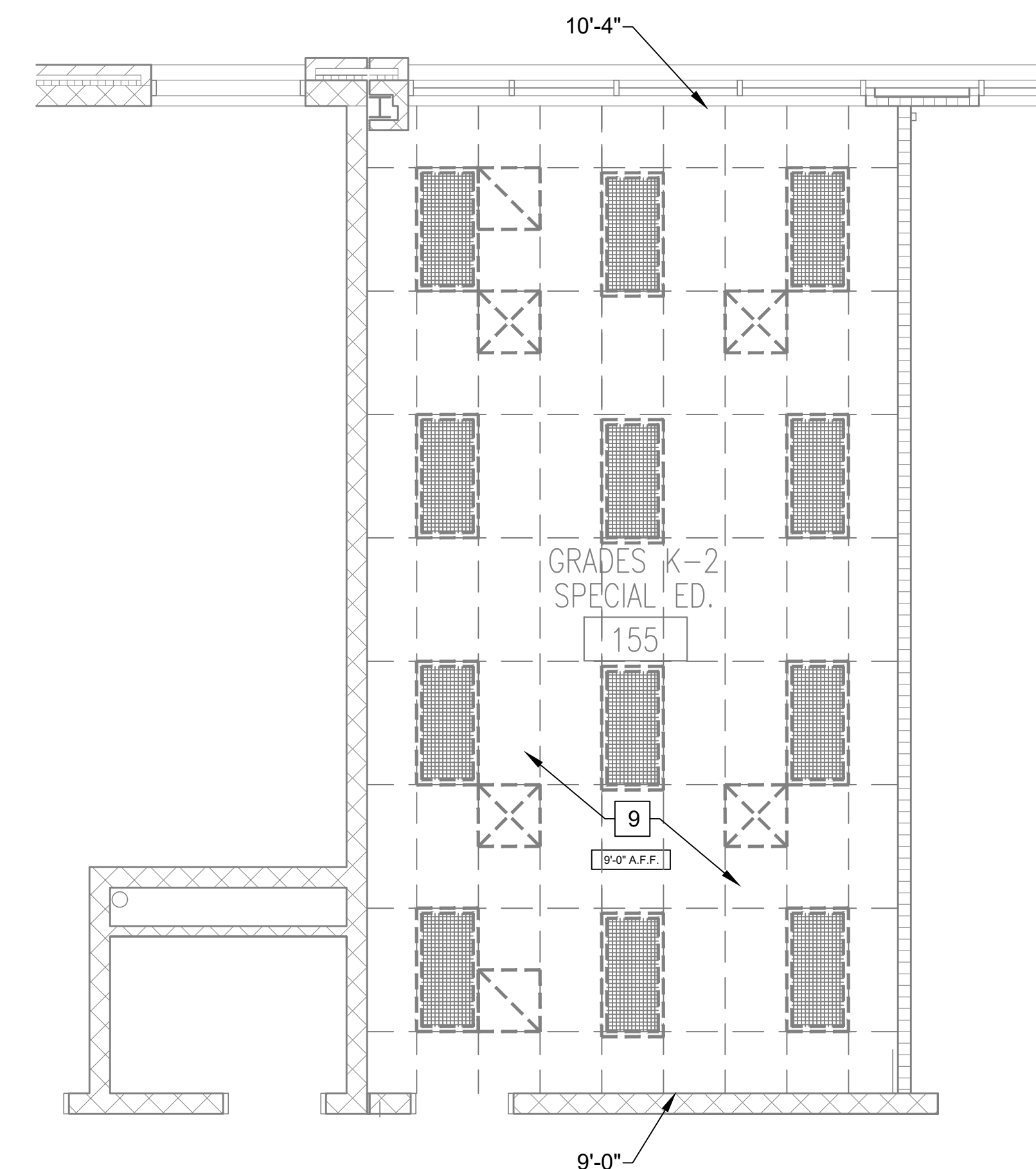
**KEY PLAN**  
SCALE: NTS

**LEGEND**

- EXISTING 2x4' MTL. GRID TO REMAIN; REPLACE CLG. TILES
- EXISTING 2x4' FLUOR. LIGHT FIXTURE TO BE REMOVED; SEE ELEC. PLANS
- EXISTING 1x4' FLUOR. LIGHT FIXTURE TO BE REMOVED; SEE ELEC. PLANS
- EXISTING COMBINATION EXIT/EMERG. LIGHT FIXTURE TO BE REMOVED AND REPLACED; SEE ELEC. PLANS
- EXIST. SMOKE DETECT. TO BE REMOVED
- EXIST. SUPPLY AIR DIFFUSER AND ASSOC. DUCTWORK TO BE REMOVED; SEE MECH. PLANS
- EXIST. RETURN AIR REGISTER TO BE REMOVED; SEE MECH. PLANS
- EXIST. CLG. MNTD. EXHAUST FAN TO BE REMOVE AND/OR REPLACED; SEE MECH. PLANS
- EXIST. SPEAKERS TO BE REMOVED
- INDICATES CEILING HEIGHT



**1**  
**A1.0** **EXIST. / DEMO. FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

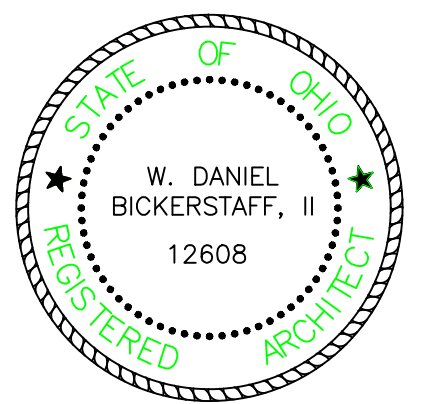


**2**  
**A1.0** **EXIST. / DEMO. CEILING PLAN**  
SCALE: 1/4" = 1'-0"



Project Team:

Architect  
**UBIQUITOUS DESIGN, LTD.**  
ARCHITECTS  
3443 LEE ROAD  
SHAKER HEIGHTS, OHIO 44120  
P: 216.752.4444 F: 216.752.5011 INFO@UDLTD.COM



W. Daniel Bickerstaff, II  
W. Daniel Bickerstaff, II License No. 12608  
Expiration Date: December 31, 2023

PERMIT ISSUANCE	WDB, II	08.26.2022
ISSUED	BY	DATE

**MOUND ELEMENTARY SCHOOL**

Interior Alteration

New MetroHealth  
ODH  
SBHC  
Health Care Expansion Program

5935 Ackley Road  
Cleveland, OH 44105



MEDICAL CENTER  
2500 METROHEALTH DR.  
CLEVELAND, OH 44109

CMSS Approval	X	
Public Dashboard EDUCATOR, Exec. Dir. Architectural Projects, Capital Projects	Date	
Consent Project #	DB	WDB, II

**EXIST. / DEMO PLANS**

Scale	Sheet
08.26.2022	<b>A1.0</b>

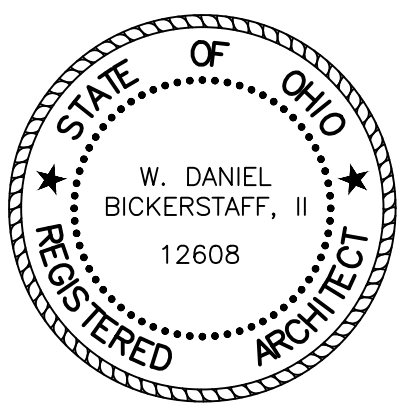
Project Team:

Architect



**UBIQUITOUS DESIGN, LTD.**

ARCHITECTS  
3443 LEE ROAD  
SHAKER HEIGHTS, OHIO 44125  
P: 216.752.4444 F: 216.752.5011 INFO@UBIDTO.COM



*W. Daniel Bickerstaff, II*

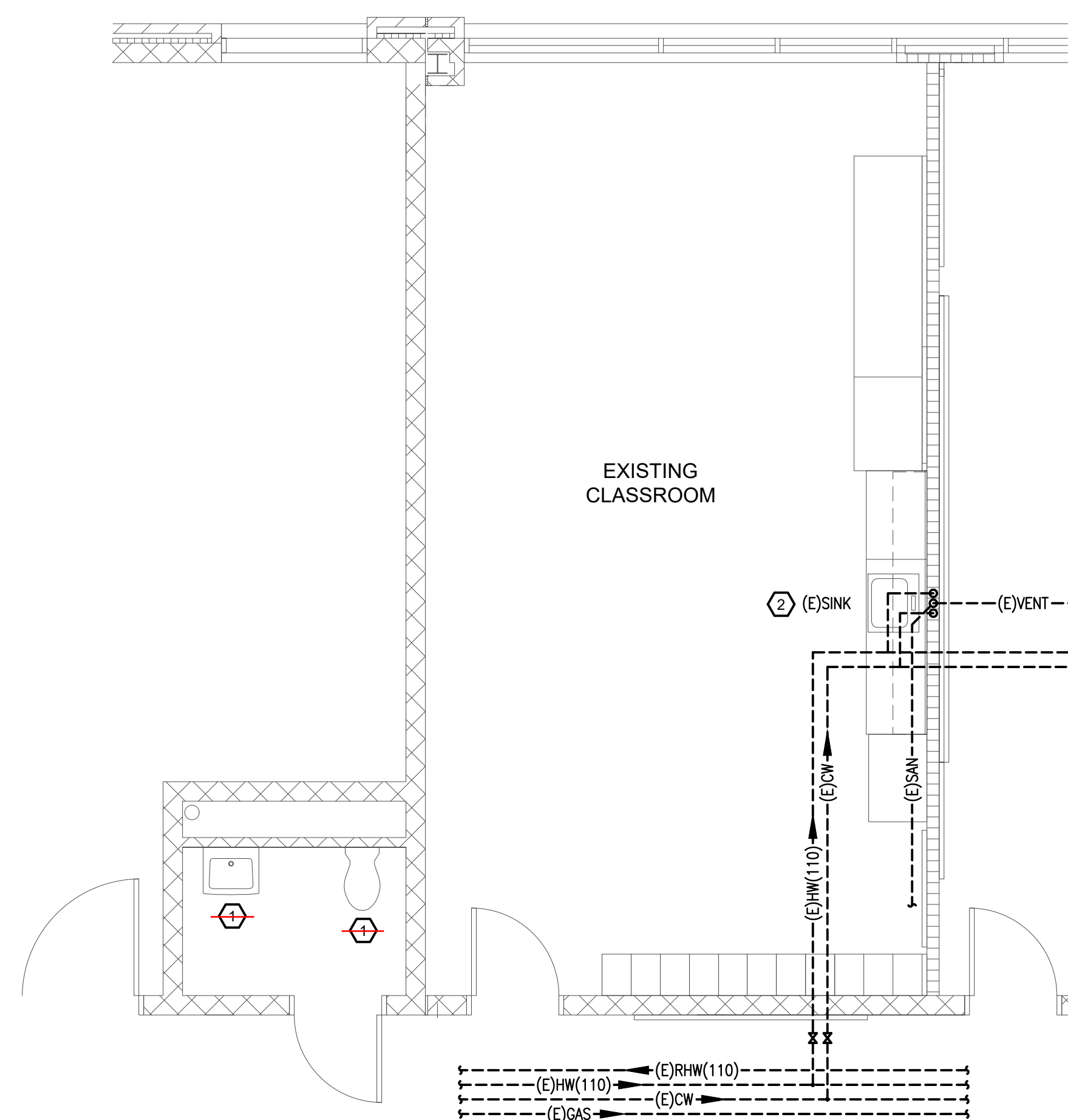
W. Daniel Bickerstaff, II License No. 12608  
Expiration Date: December 31, 2023

**GENERAL PLUMBING NOTES:**

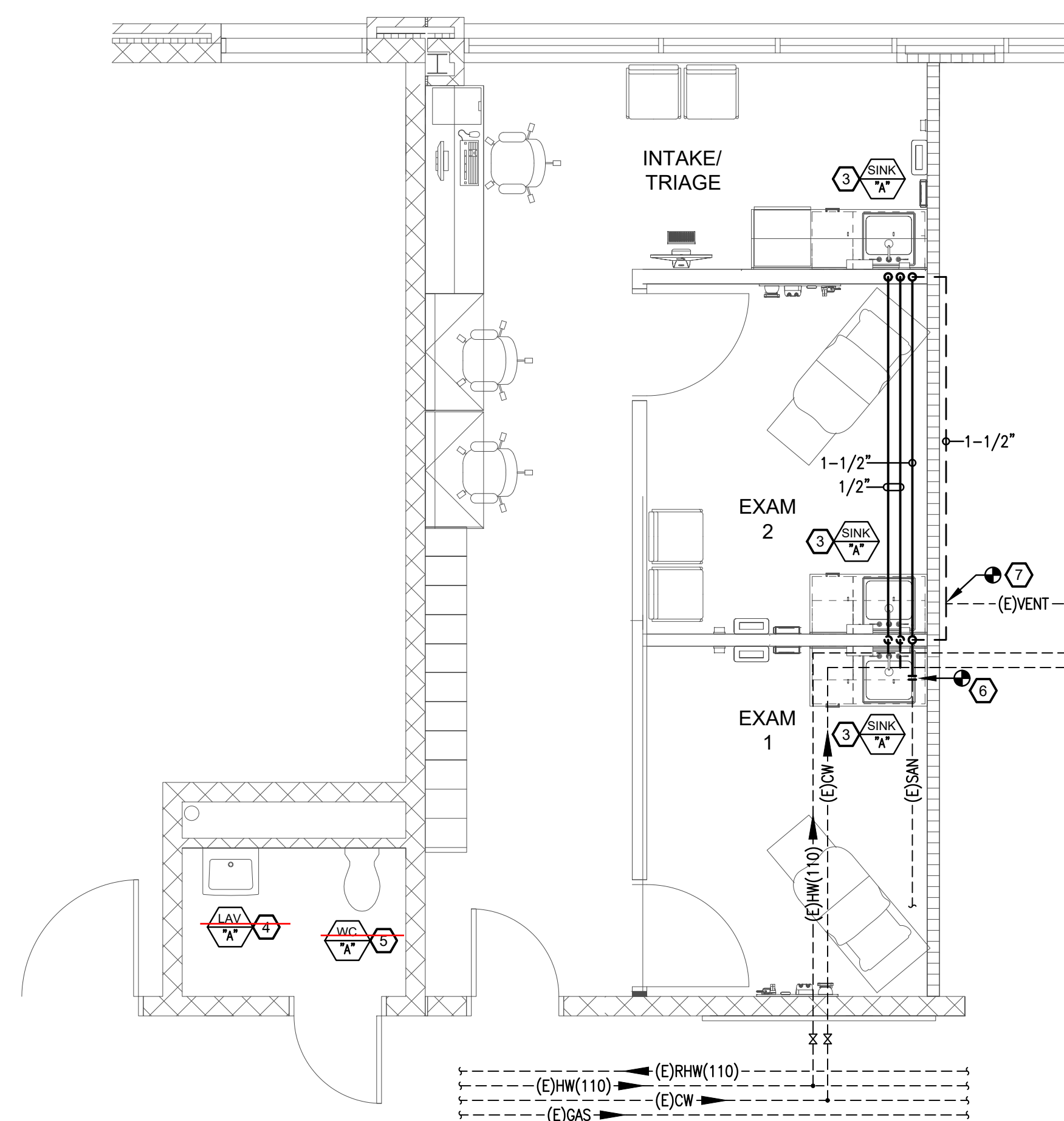
1. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY & CONFIRM SANITARY MAIN LOCATION, ROUTING & SIZE IN FIELD.
3. SANITARY SEWERS 2 1/2" & SMALLER SHALL BE PITCHED @ 2% SLOPE. 3" & LARGER SHALL BE PITCHED @ 1% SLOPE.
4. MINIMUM SANITARY SEWER SIZE LOCATED BELOW FLOOR "BURIED" SHALL BE 2" SIZE AND SHALL BE INSTALLED WITH 2% SLOPE ON DRAIN LINE.
5. PLUMBING SYSTEM PIPING SHALL BE TESTED AND INSPECTED FOR COMPLIANCE WITH STATE CODE.
6. POTABLE WATER SYSTEM SHALL BE PURGED & DISINFECTED PRIOR TO OWNER & OR TENANT USE. METHOD TO COMPLY W/ STATE CODE.
7. WATER HAMMER ARRESTORS SHALL BE FURNISHED AND INSTALLED AS DIRECTED BY STATE AT ALL FLUSH VALVE ACTUATED FIXTURE GROUPINGS AND AT ALL QUICK CLOSING FAUCETS.
8. ANY PIPING PASSING THRU RATED WALLS OR FLOORS SHALL BE FIRESTOPPED IN METHOD COMPLIANT WITH STATE CODE.
9. ALL PUBLIC LAVATORIES SHALL INCLUDE COST & INSTALLATION OF A THERMOSTATIC MIXING VALVE.

**PLAN CODED NOTES:**

- ① EXISTING LAV & WC TO BE REMOVED. PREP FOR NEW FIXTURE INSTALLATIONS. REPLACE WC CARRIER AS REQ'D FOR NEW FIXTURE.
- ② EXISTING SINK TO BE REMOVED. CUT EXISTING CW, HW, SAN, & VENT AS REQ'D. PREP FOR EXTENDING LINES TO NEW FIXTURE LOCATIONS.
- ③ NEW SINK A: 1/2" CW/HW & 1-1/2" SAN/VENT. SINK TO BE PROVIDED W/ THERMOSTATIC MIXING VALVE, REFER TO DETAIL.
- ④ NEW LAV A: CONNECT TO EXISTING FIXTURE ROUGH-IN. PROVIDE NEW WATER STOPS & FAUCET SUPPLY LINES. LAV TO BE PROVIDED W/ THERMOSTATIC MIXING VALVE. REFER TO DETAIL.
- ⑤ NEW WC A: CONNECT TO EXISTING FIXTURE ROUGH-IN.
- ⑥ NEW 1-1/2" SAN TO CONNECT TO EXISTING SAN BELOW FLOOR.
- ⑦ NEW 1-1/2" VENT TO CONNECT TO EXISTING VENT ABOVE CEILING.



1 FLOOR PLAN - PLUMBING DEMOLITION  
SCALE: 1/4" = 1'-0"  
NORTH



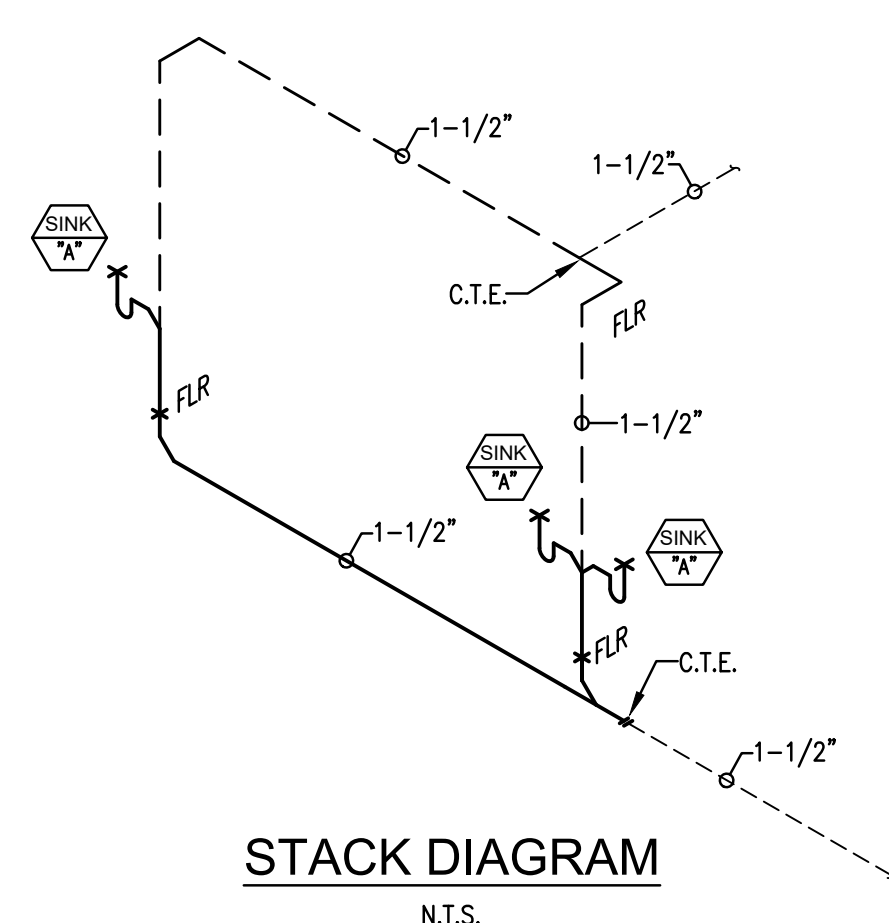
2 FLOOR PLAN - NEW PLUMBING  
SCALE: 1/4" = 1'-0"  
NORTH

PLUMBING LEGEND	
EXISTING PIPING	-----
PIPING TO BE REMOVED	-----
SANITARY DRAIN	SAN
VENT PIPING	V
STORM DRAIN	ST
KITCHEN WASTE DRAIN	KW
COLD WATER	CW
HOT WATER	HW
HOT WATER RETURN	HWR
SHUT OFF VALVE	SV
CHECK VALVE	CV
PIPE UNION	U
CLEANOUT	C.O.
FLOOR DRAIN	F.D.
INDIRECT WASTE	I.W.
VENT THRU ROOF	V.T.R.
CONNECT TO EXISTING	C.T.E.
NOT TO SCALE	N.T.S.
ABOVE FINISHED FLOOR	A.F.F.
FAN COIL UNIT	F.C.U.
GALLONS PER MINUTE	G.P.M.
CUBIC FEET PER HOUR	C.F.H.

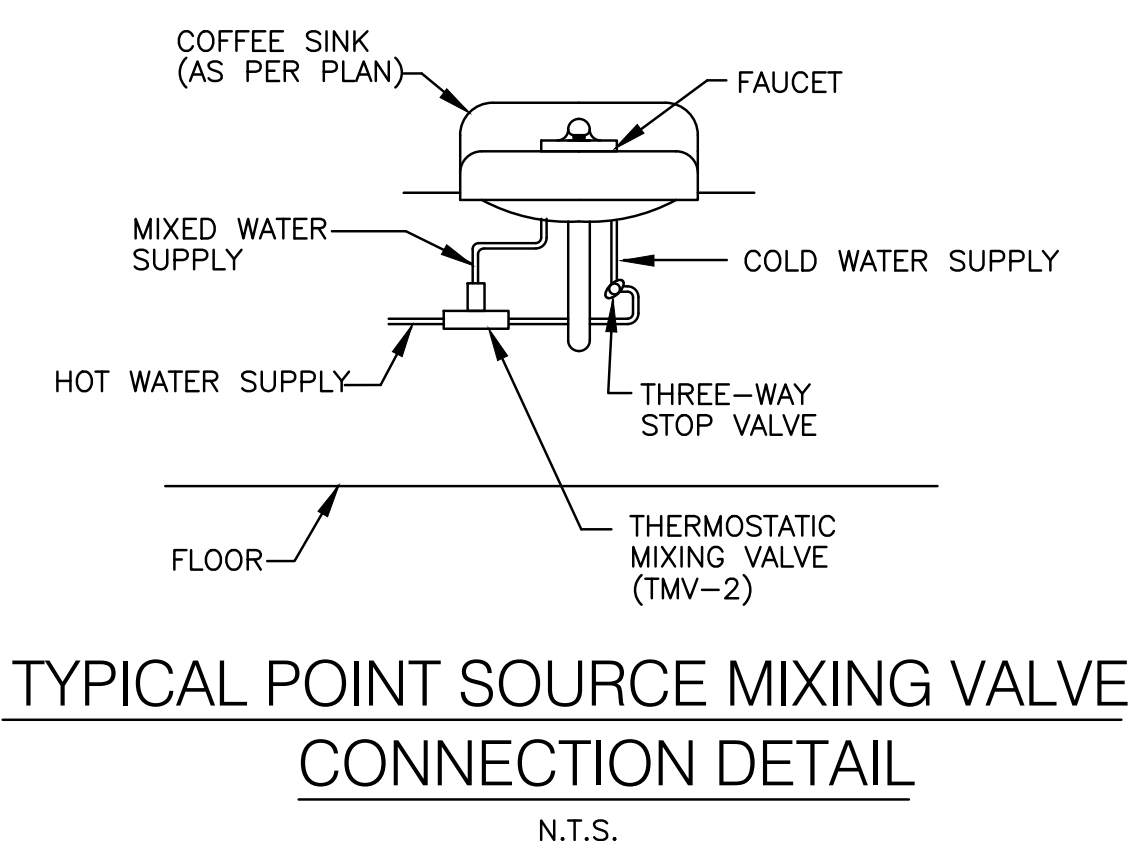
PLUMBING FIXTURE SCHEDULE	
WC	AMERICAN STANDARD & SLOAN WATER CLOSET: AMERICAN STANDARD MODEL 2294-011EC: WALL-MOUNTED ELONGATED WATER CLOSET WITH 1-1/2" TOP INLET SPUD. PROVIDE WITH SLOAN MODEL #3259400 BATTERY OPERATED SENSOR 1.6 GPF FLUSH VALVE WITH 1" I.P.S. INLET. PROVIDE WITH AMERICAN STANDARD MODEL 5901.1100SS ELONGATED TOILET SEAT WITH SELF-SUSTAINING HINGE.
LAV	AMERICAN STANDARD & SLOAN LAVATORY: AMERICAN STANDARD MODEL LUCERNE 6356-421 VITREOUS CHINA HUNG LAVATORY. ADA COMPLIANT. 20"x18" WITH SINGLE HOLE FAUCET. FAUCET: SLOAN MODEL EAF-150-BAT-CP-0.35GPM-M-M-R-IG-FIC. PROVIDE ASSE 1070 COMPLIANT MIXING VALVE. ZURN MODEL 21231-79 WALL CARRIER, FLAT GRID STRAINER, 1-1/4" OFFSET TAILPIECE AND SUPPLY WRAP PER CODE.
SINK	ELKAY & CHICAGO ADA SINK: ELKAY MODEL LMD22195S LUSTERSTONE STAINLESS STEEL SINGLE BOWL DROP-IN ADA SINK, DIMENSIONS 22"x19" AND 5-1/2" DEEP. FAUCET: CHICAGO MODEL 785-E29-KXCP FAUCET WITH 4" WRISTBLADE HANDLES WITH 8" CENTERS, AND GOOSENECK SPOUT WITH 2.2 GPM LAMINAR FLOW OUTLET. PROVIDE ASSE 1070 COMPLIANT MIXING VALVE, WALL SUPPLIES WITH STOP, FLAT GRID STRAINER, P TRAP, AND SUPPLY WRAP PER CODE.
FD	J.R. SMITH #2010-A, WITH 6" ROUND STRAINER AND NICKLE BRONZE TOP. PROVIDE WITH "SURE-SEAL" INLINE FLOOR DRAIN TRAP SEAL.

**NOTE:**

1. EACH INDIVIDUAL PLUMBING FIXTURE SHALL BE INSTALLED WITH ITS OWN SHUT-OFF VALVE ON RESPECTIVE COLD WATER SUPPLY & / OR HOT WATER SUPPLY LINES. ALL FLUSH VALVE OPERATED FIXTURES AND SHOWER VALVES SHALL BE FURNISHED WITH SCREWDRIVER BAR-CHEK ANGLE STOPS.
2. INSTALL EACH FIXTURE WITH TRAP, EASILY REMOVABLE FOR SERVICING AND CLEANING.
3. PROVIDE CHROME PLATED, RIGID OR FLEXIBLE SUPPLIES TO FIXTURES W/ HANDLE OR LOOSE KEY STOPS, REDUCERS AND ESCUTCHEONS.
4. INSTALL AND SECURE FIXTURES IN PLACE WITH WALL SUPPORTS, FLOOR SUPPORTS, WALL CARRIERS AND BOLTS.



STACK DIAGRAM  
N.T.S.



TYPICAL POINT SOURCE MIXING VALVE  
CONNECTION DETAIL  
N.T.S.

EQUIPMENT & FIXTURE CONNECTION SCHEDULE					
FIXTURE	DRAWING DESIGNATION	SAN.	VENT	C.W.	H.W.
HAND SINK	SINK	1 1/2"	1 1/2"	1/2"	1/2"
WATER CLOSET	WC	3"	1 1/2"	1/2"	---
LAVATORY	LAV	1 1/2"	1 1/2"	1/2"	1/2"

**NOTES:**

1. "EQ" = INDICATES EQUIPMENT FURNISHED BY OWNER.
2. WATER DISPENSER & ICE MAKER SHALL HAVE AN AIR GAP OF 2" PER CODE & LOCAL HEALTH DEPT.
3. ADA FIXTURES WITH EXPOSED TRAP AND/OR SUPPLIES ARE REQUIRED TO HAVE INSULATION KIT INCLUDED AND INSTALLED, UNLESS ARCHITECT IS PROVIDING A REMOVABLE PANEL BELOW FIXTURE.

PERMIT ISSUANCE	WDB, II	08.26.2022
ISSUED	BY	DATE

**MOUND  
ELEMENTARY  
SCHOOL**

Interior Alteration

New MetroHealth  
ODH  
SBHC  
Health Care Expansion Program

5935 Ackley Road  
Cleveland, OH 44105



MEDICAL CENTER  
2500 METROHEALTH DR.  
CLEVELAND, OH 44109

Checked by	DB	Date	WDB, II
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**PLUMBING FLOOR PLANS,  
SCHEDULES & DETAILS**

**DEMOLITION GENERAL NOTES:**

- SEE FLOOR PLAN GENERAL NOTES ON SHEET A1.1 FOR DESCRIPTION OF REFERENCE "ORTHO LINE".
- DEMOLITION PLAN SHOWS APPROXIMATE LAYOUT OF EXISTING BUILDING AND IS NOT INTENDED TO REPRESENT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VISIT THE SITE AND OTHERWISE BECOME FAMILIAR WITH ACTUAL CONDITIONS WHEN BIDDING THE WORK. PRIOR TO STARTING OF WORK, CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES, ETC. OR ITEMS NOT INDICATED ON DRAWINGS, THAT MAY REQUIRE DEMOLITION BUT NOT DESCRIBED OR SHOWN.
- EXISTING FIRE ALARM OR SPRINKLER MONITORING SYSTEM: MAINTAIN EXISTING SYSTEM IN SERVICE UNTIL NEW SYSTEM IS ACCEPTED. DISABLE SYSTEM ONLY TO MAKE SWITCHOVERS AND CONNECTIONS. NOTIFY AND OBTAIN PERMISSION FROM LANDLORD AND LOCAL FIRE SERVICE IN ADVANCE IN ACCORDANCE WITH AHJ REQUIREMENTS BEFORE PARTIALLY OR COMPLETELY DISABLING SYSTEM. MINIMIZE OUTAGE DURATION MAKE TEMPORARY CONNECTIONS TO MAINTAIN SERVICE IN AREA ADJACENT TO WORK AREA.
- PRIOR TO ANY DEMOLITION WORK, CONTRACTOR MUST FIELD VERIFY ALL EXISTING MECHANICAL, PLUMBING AND ELECTRICAL WORK LOCATED IN THE TENANT SPACE.
- WALLS, PARTITIONS, DOORS, FRAMES, AND OTHER ITEMS TO BE REMOVED ARE SHOWN DASHED. SERVICES WITHIN WALLS AND PARTITIONS SHALL ALSO BE REMOVED. REPAIR AND PATCH EXISTING WALLS SHOWN TO REMAIN WHERE INTERSECTING WALLS, DOORS, FRAMES, ETC. ARE SHOWN TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOW BE EXPOSED IN THE NEW CONSTRUCTION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE PROTECTED DURING DEMOLITION. DAMAGE TO EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL BE RESTORED TO MATCH PRE-DAMAGED CONDITION. ALL DAMAGED EXISTING STRUCTURAL FIREPROOFING MATERIAL IS TO BE PATCHED/REPAIRED AS REQUIRED.
- REMOVE ALL EXISTING OBSOLETE MISCELLANEOUS NON-LOADBEARING ITEMS IN THEIR ENTIRETY THROUGHOUT TENANT SPACE, PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. REPAIR AND PATCH ALL SURFACES TO REMAIN, WITH MATERIALS MATCHING EXISTING CONSTRUCTION. COORDINATE WITH NEW CONSTRUCTION.
- REMOVE ALL EXISTING OBSOLETE PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT IN THEIR ENTIRETY THROUGHOUT TENANT SPACE PARTICULARLY WHERE EXISTING ITEMS WILL INTERFERE WITH THE INSTALLATION OF NEW CONSTRUCTION, OR WHERE EXISTING ITEMS WILL BE EXPOSED IN THE NEW CONSTRUCTION, UNLESS SPECIFICALLY SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS TO REMAIN. COORDINATE WITH NEW CONSTRUCTION.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN THE FLOORS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FLOOR LEVELING TO LEVEL FLOOR WITH ADJACENT SURFACES. FLOOR LEVELING MATERIAL SHALL BE COMPATIBLE WITH NEW FLOOR FINISH MATERIALS.
- IN ALL AREAS WHERE DEMOLITION CAUSES UNEVENNESS AND/OR VOIDS IN GYPSUM BOARD WALLS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND LEVELING THE WALL WITH ADJACENT SURFACES. APPLY A SKIM COATING TO WALL SURFACES WITH EXTENSIVE VOIDS AND/OR UNEVENNESS.
- ALL BUILDING SERVICES REQUIRED TO MAINTAIN BUILDING OPERATION OF OTHER AREAS SHALL BE MAINTAINED. BUILDING SERVICES IN FINISHED SPACES SHALL BE CONCEALED, UNLESS OTHERWISE INDICATED. BUILDING SERVICES ENCOUNTERED IN DEMOLISHED PARTITIONS AND CEILINGS WHICH ARE TO REMAIN SHALL BE REROUTED AND CONCEALED. THOSE BUILDING SERVICES THAT ARE INDICATED TO BE ABANDONED SHALL BE CAPPED AND CONCEALED IN THE FLOOR, WALL OR CEILING. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL SERVICES PRIOR TO REMOVAL AND DISCONNECTION INCLUDING ELECTRICAL, HVAC, PLUMBING, SECURITY, AND TELEPHONE/DATA FOR ADJOINING OCCUPIED SPACES.
- ALL EXISTING CONCRETE FLOORS SHALL BE PREPARED TO RECEIVE NEW FLOOR FINISHES. THIS SHALL CONSIST OF BUT NOT LIMITED TO SCRAPING, GRINDING, APPLYING FLOOR LEVELING MATERIAL, ETC.

P. LAM. STACKED LOCKERS. NEVEMAR S7024 "CHALK WHITE" OR EQUIVALENT

REMOVE EXIST. LOCKER BASE. PROVIDE NEW ARDEX OR APPROVED EQUAL FLR. LEVELING IN PREP. FOR NEW FLOORING

**D1 LOCKER BASE DEMO**  
SCALE: 1/2" = 1'-0"

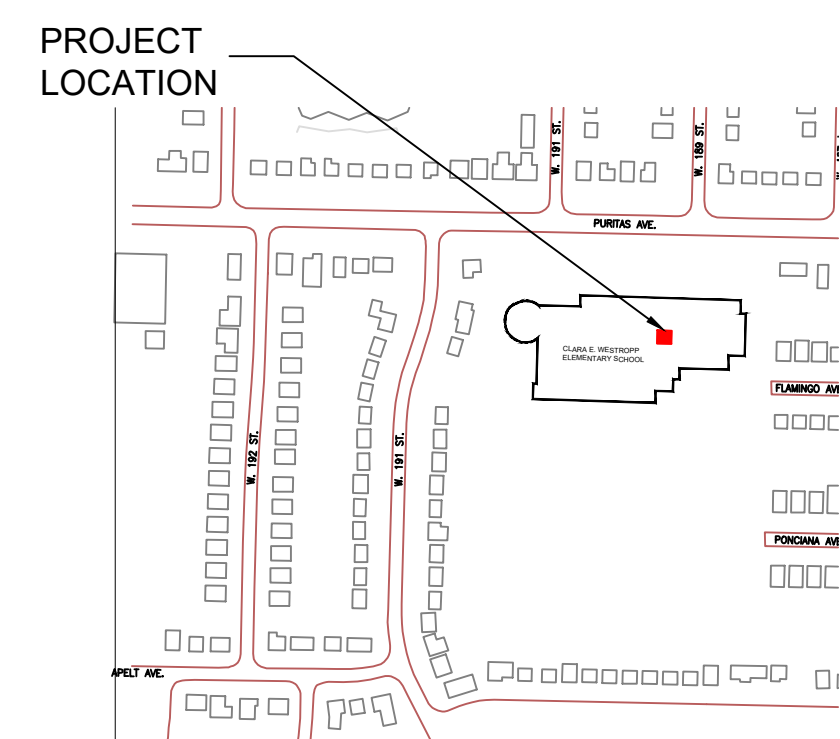
**WALL LEGEND**

- EXIST. WALLS
- WALLS AND MILLWORK TO BE REMOVED

**PLAN CODED NOTES:**

- INDICATED BY
- REMOVE AND REPLACE EXIST. ELEC. PANEL DOOR
  - REMOVE EXIST. LOCKERS
  - REMOVE
    - FLOORING
    - WALL BASE
    - ACOUST. CLG. TILES ETC.
    - ADHESIVE
    - CHALK/MARKER BOARDS
    - ACCESSORIES (CLOCKS, MIRRORS, FIRE EXTINGUISHERS, AV TECH. EQUIPMENT)
  - REMOVE EXIST. DOORS AND MTL. FRAME AND GLASS ENTRANCE
  - REMOVE PORTION OF EXIST. MSY. WALL. PROVIDE STL. LINTEL PER SCHEDULE
  - REMOVE, SALVAGE AND STORE EXIST. DOOR AND FRAME FOR RE-INSTALLATION
  - CMSD SHALL REMOVE ALL FURNISHINGS, DEHUMIDIFIERS, WALL MNTD. POSTERS, AND PAPERS
  - REMOVE EXIST. ELEC. OUTLET/DEVICE
  - REMOVE EXIST. LIGHTING FIXTURE

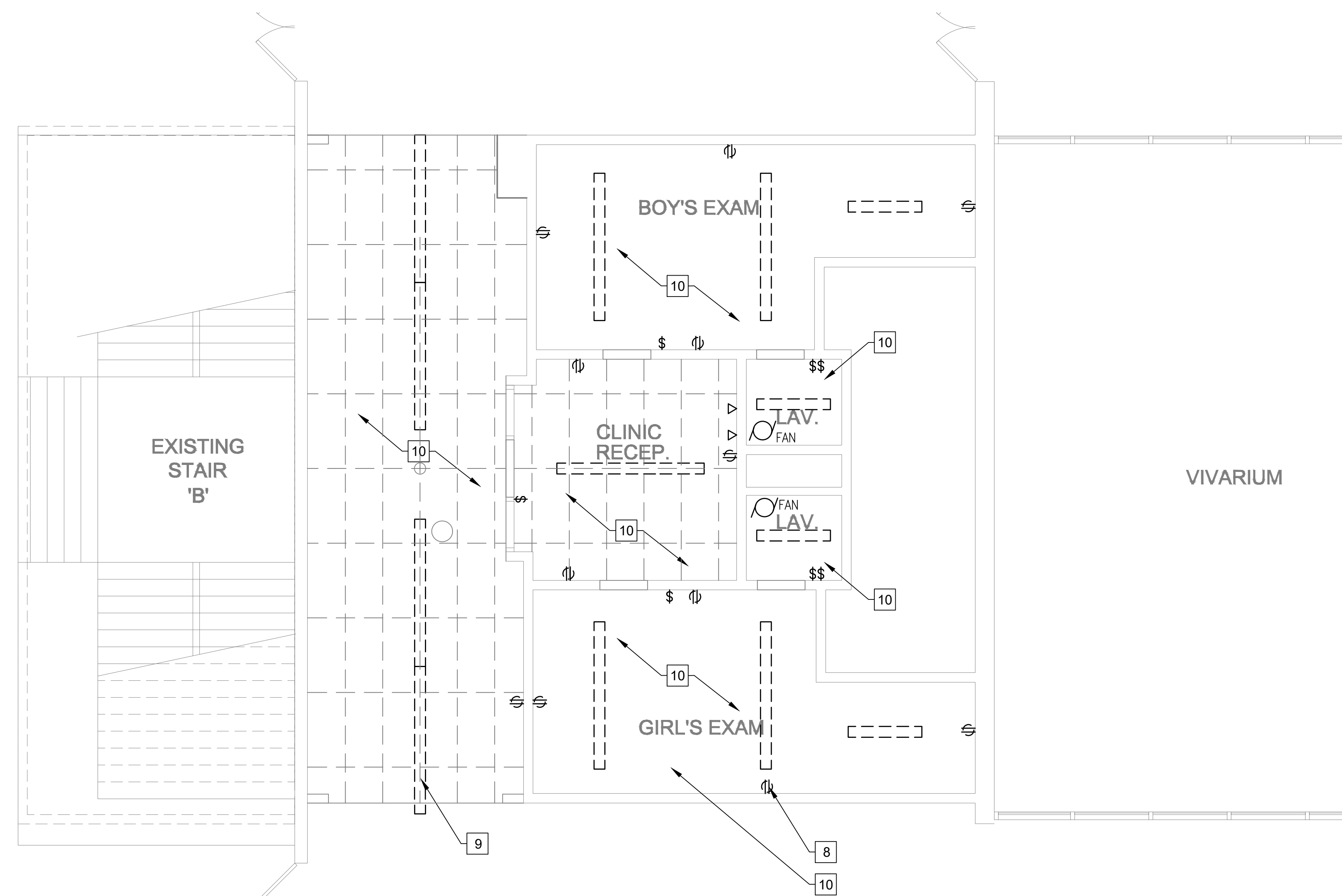
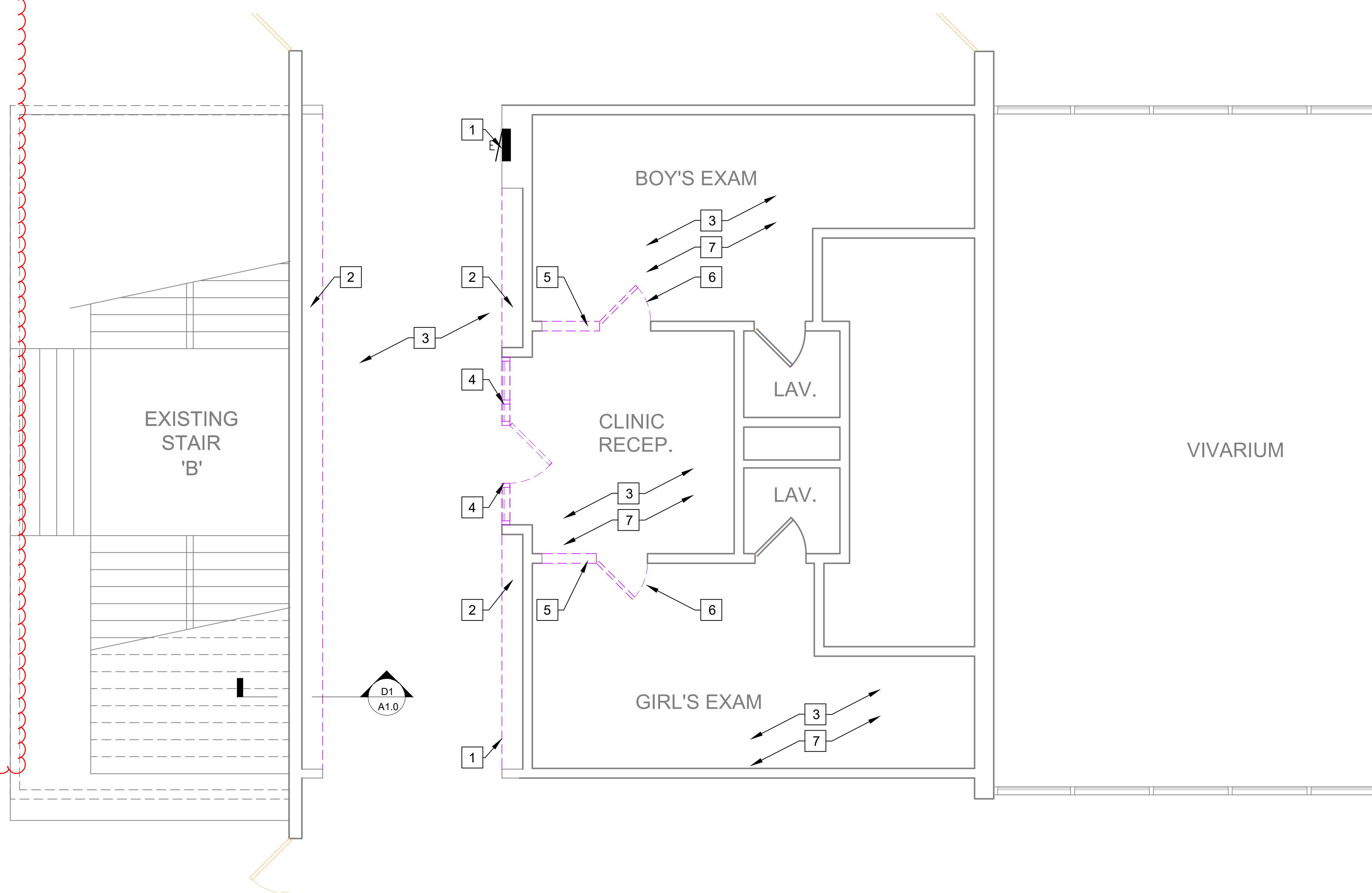
\*SALVAGE ALL ACCESSORIES AND TECH. EQUIP.; CONTRACTOR TO REMOVE AND CMSD SHALL STORE.



**KEY PLAN**  
SCALE: NTS

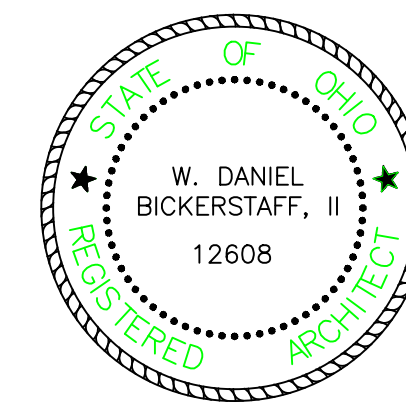
**1 EXIST. / DEMO. FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**2 EXIST. / DEMO. CEILING PLAN**  
SCALE: 1/4" = 1'-0"



Project Team:

Architect  
**UBIQUITOUS DESIGN, LTD.**  
ARCHITECTS  
3443 LEE ROAD  
SHAKER HEIGHTS, OHIO 44128  
P: 216.752.4444 F: 216.752.5011 INFO@UDLTD.COM



W. Daniel Bickerstaff, II  
W. Daniel Bickerstaff, II License No. 12608  
Expiration Date: December 31, 2023

PRE-BID SITE VISIT RESPONSES	WDB, II	11.14.2022
PRE-BID QUESTION RESPONSES	WDB, II	11.04.2022
PERMIT ISSUANCE	WDB, II	08.26.2022

**CLARA E. WESTROPP ELEMENTARY SCHOOL**

Interior Alteration  
  
New MetroHealth  
ODH  
SBHC  
Health Care Expansion Program

19101 Puritas Avenue  
Cleveland, OH 44135



MEDICAL CENTER  
2500 METROHEALTH DR.  
CLEVELAND, OH 44109

CADD Approval <input checked="" type="checkbox"/>	Public Dashboard EDUCATOR, Exec. Dir. Architectural Projects, Capital Projects	Date
Consultant Project #	Drawn by: DB	Checked by: WDB, II

**EXIST. / DEMO PLANS**

Scale	Sheet
Date: 11.14.2022	A1.0